



20 Eastwood Avenue, Stranraer

Stranraer

Offers Over £95,000

20 Eastwood Avenue

Stranraer, Stranraer

Local amenities include a general store, supermarket, leisure centre and primary schools while all major amenities are located in and around the town centre and include further supermarkets, healthcare and secondary school. There is also a town centre and school transport service available from closeby.

Council Tax band: B

Tenure: Freehold

EPC Energy Efficiency Rating: C

EPC Environmental Impact Rating: C

- Ideal first time purchase
- Walk in condition
- Well sought after location
- Walking distance to both primary & secondary schools
- Off road parking
- Fully double glazed
- Gas fired central heating
- Fully enclosed rear garden (recently landscaped)

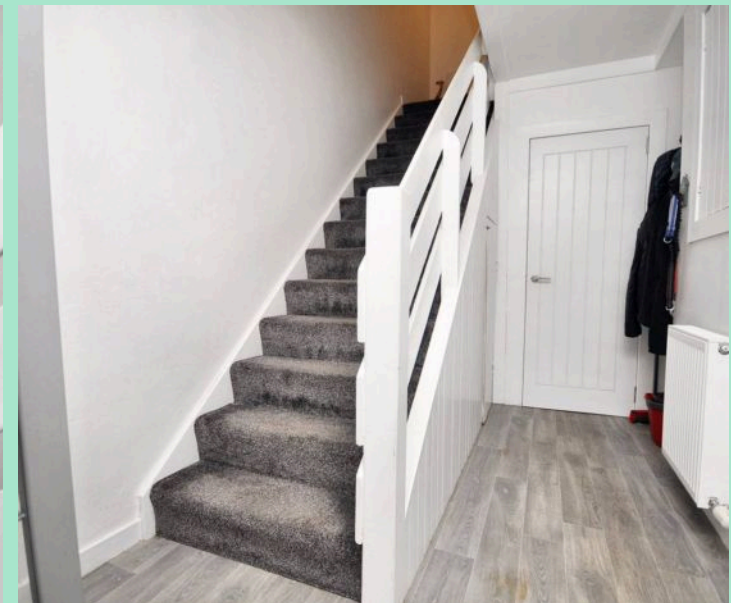
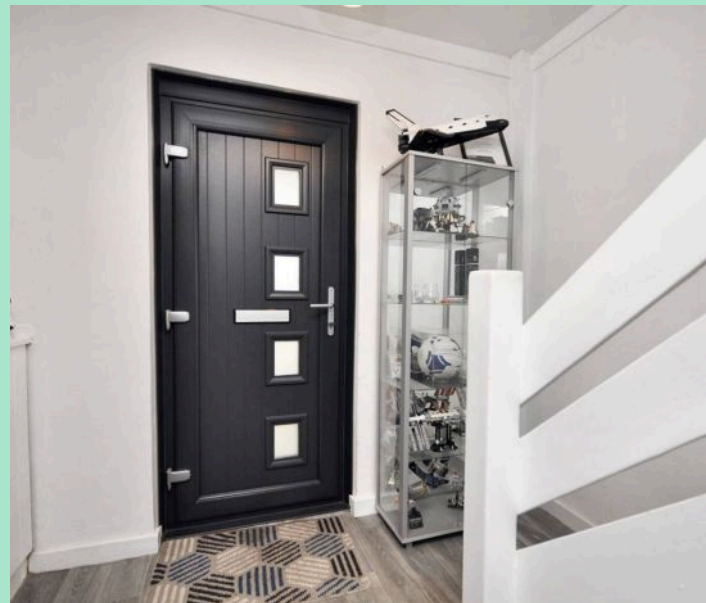


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Stranraer, Stranraer

Nestled in a well sought after location, this charming 3-bedroom terraced house presents an ideal first-time purchase opportunity for discerning buyers. Boasting a walk-in condition, this property offers the convenience of being within walking distance to both primary and secondary schools, making it a perfect choice for families. The home features modern comforts such as fully double glazing and gas fired central heating, ensuring both warmth and energy efficiency. Beyond practicalities, the property offers a tranquil escape with its fully enclosed rear garden, recently landscaped to perfection, providing a serene setting for relaxation and outdoor activities.

Step outside to discover the delightful exterior space that this property has to offer. The fully enclosed rear garden is a haven for outdoor enthusiasts, featuring a fenced border, a gravel pathway, and a lush lawn area. The wooden decking, accessible from the lounge, offers a seamless transition between indoor and outdoor living, while a convenient garden shed provides additional storage space. At the front of the property, a large paved driveway with a planting border not only enhances the property's kerb appeal but also offers ample off-road parking for residents and guests. Enjoy the perfect blend of comfort and convenience in this meticulously maintained property, where indoor elegance meets outdoor tranquillity.



Hallway

Front entrance providing access into hallway with central heating radiator and full access to ground floor accommodation. Stairs allowing access to upper level accommodation.

Lounge

22' 0" x 11' 6" (6.70m x 3.50m)

Spacious lounge with built in entertainment unit as well as large double glazed window providing front outlook and patio sliding doors to rear providing access to rear garden and wooden decking. Central heating radiator and TV point also.

Kitchen

11' 9" x 11' 6" (3.59m x 3.51m)

Bright and modern kitchen to rear with floor and wall mounted units as well as breakfast bar. Integrated electric hob and extractor as well as fitted electric fan oven and stainless steel sink with mixer tap. Plumbing for washing machine, double glazed window providing rear outlook as well as uPVC storm door providing rear garden access.

Bathroom

9' 5" x 5' 6" (2.87m x 1.67m)

Well proportioned bathroom on upper level comprising of mains shower over bath, separate toilet and WHB as well as double glazed window and splash panel boarding.

Bedroom

13' 1" x 9' 6" (3.99m x 2.90m)

Double bedroom on upper level with double glazed window providing rear outlook as well as central heating radiator.



Bedroom

12' 6" x 9' 7" (3.80m x 2.92m)

Double bedroom towards front of property with double glazed window providing front outlook as well as central heating radiator.

Bedroom/ Study

12' 10" x 7' 3" (3.90m x 2.20m)

Potential third bedroom towards front of property currently used as an office/study with double glazed window providing front outlook as well as central heating radiator.

Garden

Fully enclosed garden to the rear having been recently fully landscaped. Comprising of fenced border, gravel pathway, well maintained lawn area as well as wooden decking access from lounge and garden shed.

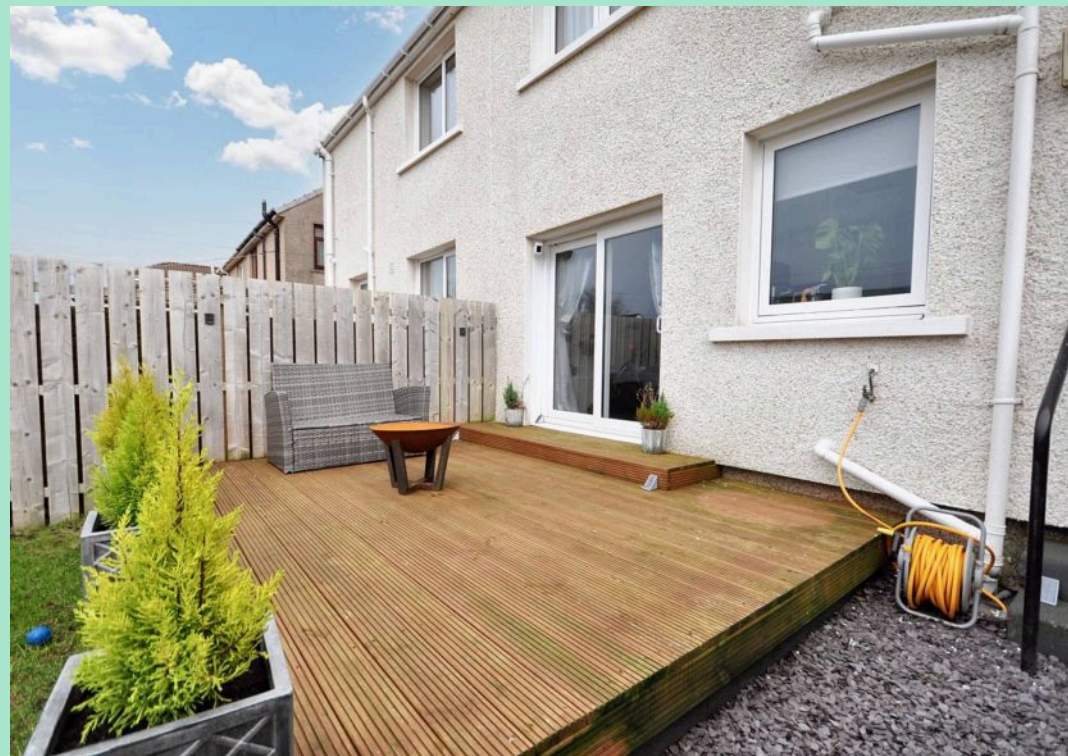
Driveway

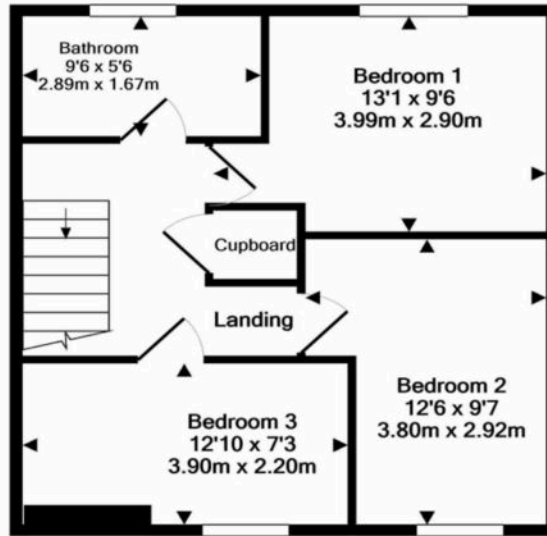
1 Parking Space

Large paved driveway to front of property with planting border allowing for off road parking.

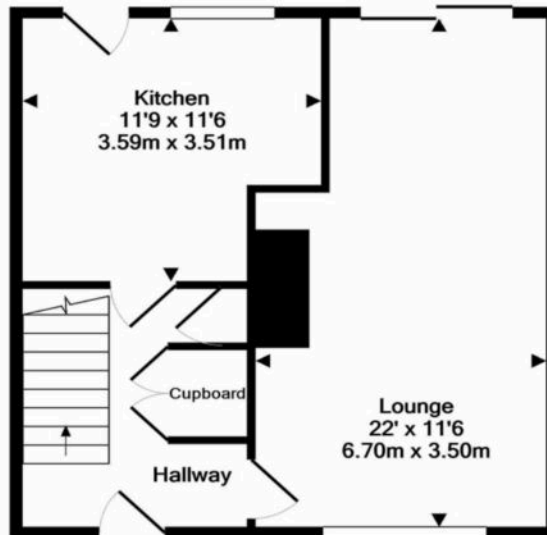








1st Floor



Ground Floor

Conditions of Sale We have attempted to make our sales details as accurate as possible from the information we have about this property. If there is any point which is of particular importance please contact our office and we will endeavour to check the information. We would advise this course of action if prospective purchasers are travelling some distance to view the subjects of sale. All dimensions and distances etc are approximate and photographs are intended only to give a general impression. Systems are untested and appliances are sold as seen. Prospective purchasers should make their own investigations and obtain their own reports as they think necessary. The contract to sell will be based only on the concluded missives. These particulars and any other correspondence or discussions will not form part of the contract. If we can be of further assistance please do not hesitate to contact us. Pre-sale Appraisal If you are considering moving we would be delighted to carry out a pre-sale appraisal of your existing property. Terms and conditions apply. For full details contact one of our branches.





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